

CHAPTER 1141
UPOD Unified Plan Overlay District

1141.01 Purpose.

1141.02 General requirements.

1141.01 PURPOSE.

(a) This chapter is intended to implement the Unified Plan for Downtown Springfield adopted by the Springfield City Commission in Resolution No. 5509, adopted May 15, 2007. The Unified Plan for Downtown Springfield adopts a uniform development standard approach to land use and zoning regulation. Uniform development standard land use regulations allow market demands to determine the mix of uses within the constraints of the building design standards of the community. The Unified Plan establishes zones of building type and allows building owners to determine the uses.

(b) This chapter includes both required and recommend unified development standards. All required zoning regulations must be complied with. Landowners are specifically encouraged to comply with recommended district uses, design standards, and economic development objectives.

(c) The policy objectives intended to be achieved by the imposition of the UPOD Urban Commercial Overlay District are to:

- (1) Unite all downtown developments into a single plan
- (2) Create a unified development standard for downtown
- (3) Protect the character of existing downtown residential neighborhoods
- (4) Provide guidance to the private market
- (5) Establish shared goals for future zoning downtown
- (6) Achieve unified and valuable design that is feasible and flexible for developers
- (7) Achieve unified and valuable development downtown that is feasible and flexible for the City of Springfield over time
- (8) Assist in future transportation, corridor planning, and transportation demand management downtown
- (9) Promote pedestrian activity downtown
- (10) Create incentives for downtown development
- (11) Motivate a vibrant and diverse downtown economy
- (12) Encourage the construction of a vibrant and diverse downtown activity center
- (13) Inspire the community to protect historically significant structures and reuse existing structures

(d) This chapter is intended to further and protect the public health, safety, convenience, comfort, prosperity, and general welfare of the Springfield community. This chapter is further intended to enhance and protect property values in downtown Springfield and prevent impairment and destruction of property values.
(Ord. 07-130. Passed 5-15-07.)

1141.02 GENERAL REQUIREMENTS.

All UPOD Unified Plan Overlay District new construction shall meet the following required design and development criteria for the land use district in which it is located and all new construction is encouraged to conform to the following recommended design and development criteria for the land use district in which it is located:

(a) Downtown Mixed Use UPOD District

(1) Required

A. Maximum Setback: 5 feet

- i. Setback applies to all wall surfaces. Buildings can have varying “setbacks” that form entrances, atriums, urban parks, express structural elements, create special exhibit areas, planters, etc.

B. Floor Area Ratio: 10

C. Building Standards:

- i. Building facades facing public streets shall incorporate a main entrance door on the street. Building entrances may include doors to individual shops or businesses, lobby entrances, entrances to pedestrian-oriented plazas, or courtyard entrances to a cluster of shops or businesses.
- ii. For commercial uses, at least sixty (60) percent of each building façade facing public streets shall be transparent window glass or open from a height of 3 to 9 feet (See Graphic: Window Glass and Transparency).
- iii. For all non-single family residential uses, at least thirty (30) percent of each building façade facing public streets shall be transparent window glass or open (See Graphic: Window Glass and Transparency).
- iv. Building façades shall be a minimum of two (2) stories [thirty (30) feet] in height from the nearest street grade. If the building does not actually have at least two (2) stories, then it shall have appropriate architectural detail to appear to have a second story. This may be accomplished by extending the façade to a height of thirty (30) feet.
- v. Structures more than fifty (50) feet wide shall incorporate vertical elements, such as, but not limited to, windows and columns, into their façade design (See Graphic: Vertical Element).

D. Parking:

- i. Parking must be provided in rear of building. In locations where a “rear” yard fronts a street or is visible within 150 feet of a street, all parking must be screened using urban screening (See Graphic:

Urban Screening). Urban screening shall consist of a natural stone or brick material and iron or similar material. Urban screening shall consist of a minimum of 10 percent opacity by including, at a minimum, one masonry post once every 10 feet. The materials for screening and their placement shall comply with the requirements of Subsection 1156.01 and 1161.02(h).

- ii. Shared parking must be used wherever possible.
- C. Exterior Materials:
 - i. Hard surfaced exterior wall materials are required for all nonresidential uses. This can include brick, parged block (at service areas, locations that might be used for wall murals), painted brick, stone and plaster/stucco.
 - ii. Materials used on exterior walls and roofs shall not be more than 30 percent highly reflective glass, such as tempered or mirrored glass. Highly tinted glass or glass tinted in unnatural colors or with a highly reflective finish should be avoided.
 - iii. Exterior materials may artificially simulate natural materials that they are not.
 - iv. Prohibited exterior materials for all nonresidential uses include corrugated metal panels, siding, and wood used as a finish material, shall be prohibited on visible elevations. Visible elevations are those elevation visual from a public street or parking area.
 - v. Exterior lighting.
 - vi. Exterior building lighting shall be required for new buildings.

(2) Recommended

- A. Recommended Uses: Mixed use of consumer, restaurant, and service retail, office, institutional, medical, recreational, and residential
- B. Building Standards:
 - i. Transparent, or even open, first floor encouraged.
 - ii. Canopies, awnings, roof and floor overhangs, and colonnades are encouraged as protection to pedestrians.
 - iii. Rooftops should include architectural rooflines, such as cornices or exterior molding (See Graphic: Roofline).
 - iv. Residential uses should include outdoor balconies.
 - v. Outdoor seating is recommended for food service uses.
 - vi. Outdoor seating must be of metal, natural stone, or brick material.
 - vii. If the outdoor seating is not firmly attached to the ground or to a building, the outdoor seating shall be constructed so as to be able to withstand a wind pressure of not less than 80 miles per hour without falling over or blowing away.
 - viii. Outdoor seating placed in the right-of-way must of de minimis impact, and be placed so as allow a minimum unobstructed right-of-way clearance of 4 feet [requires approval of Community Development Department according 902.01(c)].
- C. Exterior Lighting:

- i. Ornamental or decorative lights mounted with brackets is recommended.
 - ii. Exterior lighting and site furniture should be architecturally integrated with the building's style, material, and color.
 - iii. Down lighting should be used to reinforce circulation corridors.
 - iv. Canopies, awnings, roof and floor overhangs, and colonnades are encouraged to serve as backdrops for signage, graphics or other features that would change with time. Signage:
 - i. Signs should fit the character of downtown but also encourage creativity.
 - ii. Externally illuminated emblem signs should be used.
 - iii. Projecting signs are encouraged.
 - iv. Internally illuminated signs are discouraged.
- (b) Retail Mixed Use UPOD District
 - (1) Required
 - A. Maximum Setback: 5 feet
 - i. Setback applies to all wall surfaces. Buildings can have varying “setbacks” that form entrances, atriums, urban parks, express structural elements, create special exhibit areas, planters, etc.
 - B. Floor Area Ratio: 10
 - C. Building Standards:
 - i. Building facades facing public streets shall incorporate a main entrance door on the street. Building entrances may include doors to individual shops or businesses, lobby entrances, entrances to pedestrian-oriented plazas, or courtyard entrances to a cluster of shops or businesses.
 - ii. For commercial uses, at least sixty (60) percent of each building façade facing public streets shall be transparent window glass or open from a height of 3-9 feet (See Graphic: Window Glass and Transparency).
 - iii. For all non-single family residential uses, at least thirty (30) percent of each building façade facing public streets shall be transparent window glass or open (See Graphic: Window Glass and Transparency).
 - iv. Building façades shall be a minimum of two (2) stories [thirty (30) feet] in height from the nearest street grade. If the building does not actually have at least two (2) stories, then it shall have appropriate architectural detail to appear to have a second story. This may be accomplished by extending the façade to a height of thirty (30) feet.
 - v. Canopies, awnings, roof and floor overhangs, and colonnades are required for retail, services, and food uses as protection to pedestrians.
 - vi. Structures more than fifty (50) feet wide shall incorporate vertical elements, such as, but not limited to, windows and columns, into their façade design (See Graphic: Vertical Element).

- D. Parking:
 - i. Parking must be provided in rear of building. In locations where a “rear” yard fronts a street or is visible within 150 feet of a street, all parking must be screened using urban screening (See Graphic: Urban Screening). Urban screening shall consist of a natural stone or brick material and iron or similar material. Urban screening shall consist of a minimum of 10% opacity by including, at a minimum, one masonry post once every 10 feet. The materials for screening and their placement shall comply with the requirements of Subsection 1156.01 and 1161.02(h).
 - ii. Shared parking must be used wherever possible.
 - E. Outdoor Seating:
 - i. Outdoor seating is required for food service uses.
 - ii. Outdoor seating must be of metal, natural stone, or brick material.
 - iii. If the outdoor seating is not firmly attached to the ground or to a building, the outdoor seating shall be constructed so as to be able to withstand a wind pressure of not less than 80 miles per hour without falling over or blowing away.
 - iv. Outdoor seating placed in the right-of-way must of de minimis impact, and be placed so as allow a minimum unobstructed right-of-way clearance of 4 feet [requires approval of Community Development Department according 902.01(c)].
 - F. Exterior Materials:
 - i. Hard surfaced exterior wall materials are required for all nonresidential uses. This can include brick, parged block (at service areas, locations that might be used for wall murals), painted brick, stone and plaster/stucco.
 - ii. Materials used on exterior walls and roofs shall not be more than 30 percent highly reflective glass, such as tempered or mirrored glass. Highly tinted glass or glass tinted in unnatural colors or with a highly reflective finish should be avoided.
 - iii. Exterior materials may artificially simulate natural materials that they are not.
 - iv. Prohibited exterior materials for all nonresidential uses include corrugated metal panels, siding, and wood used as a finish material, shall be prohibited on visible elevations. Visible elevations are those elevation visual from a public street or parking area.
 - G. Exterior lighting:
 - i. Exterior building lighting shall be required for new buildings.
 - ii. Ornamental or decorative lights mounted with brackets and emblem sign lights shall be used.
 - iii. Down lighting shall be used every 50 foot to reinforce circulation corridors.
- (2) Recommended
- A. Recommended Uses: Consumer, restaurant, and service retail

- B. Building Standards:
 - i. Transparent, or even open, first floor encouraged.
 - ii. Rooftops should include architectural rooflines, such as cornices or exterior molding (See Graphic: Roofline).
 - iii. Residential uses should include outdoor balconies.
- C. Exterior lighting:
 - i. Exterior lighting and site furniture should be architecturally integrated with the building's style, material, and color.
- D. Signage:
 - i. Canopies, awnings, roof and floor overhangs, and colonnades are encouraged to serve as backdrops for signage, graphics or other features that would change with time.
 - ii. Signs should fit the character of downtown but also encourage creativity.
 - iii. Projecting signs are encouraged.
 - iv. Externally illuminated emblem signs are encouraged.
 - v. Internally illuminated are permitted.
- (c) Open Space
 - (1) Required
 - A. Allowable Uses
 - i. Green Space
 - ii. Public Art
 - iii. Public Recreation
 - iv. Temporary structures with conditional use permit
- (d) Residential Zoning OVERLAY: Design and Development Standards
 - (1) Required
 - A. See RS-8 (Chapter 1108)
- (e) Office Mixed use Zoning UPOD District
 - (2) Required
 - A. Maximum Setback: 5 feet
 - (i) Setback applies to all wall surfaces. Buildings can have varying “setbacks” that form entrances, atriums, urban parks, express structural elements, create special exhibit areas, planters, etc.
 - B. Floor Area Ratio: 10
 - C. Building Standards:
 - i. Building facades facing public streets shall incorporate a main entrance door on the street. Building entrances may include doors to individual shops or businesses, lobby entrances, entrances to pedestrian-oriented plazas, or courtyard entrances to a cluster of shops or businesses.
 - ii. For commercial uses, at least sixty (60) percent of each building façade facing public streets shall be transparent window glass or open from a height of 3 to 9 feet (See Graphic: Window Glass and Transparency) .
 - iii. For all non-single family residential uses, at least thirty (30) percent of each building façade facing public streets shall be

- transparent window glass or open (See Graphic: Window Glass and Transparency).
- iv. Building façades shall be a minimum of two (2) stories [thirty (30) feet] in height from the nearest street grade. If the building does not actually have at least two (2) stories, then it shall have appropriate architectural detail to appear to have a second story. This may be accomplished by extending the façade to a height of thirty (30) feet (See Graphic: Window Glass and Transparency).
 - v. Structures more than fifty (50) feet wide shall incorporate vertical elements, such as, but not limited to, windows and columns, into their façade design (See Graphic: Vertical Element).
- D. Parking:
- i. Parking must be provided in rear of building. In locations where a “rear” yard fronts a street or is visible within 150 feet of a street, all parking must be screened using urban screening (See Graphic: Urban Screening). Urban screening shall consist of a natural stone or brick material and iron or similar material. Urban screening shall consist of a minimum of 10% opacity by including, at a minimum, one masonry post once every 10 feet. The materials for screening and their placement shall comply with the requirements of Subsection 1156.01 and 1161.02(h).
 - ii. Shared parking must be used wherever possible.
- E. Outdoor Seating:
- i. Outdoor seating is required for food service uses.
 - ii. Outdoor seating must be of metal, natural stone, or brick material.
 - iii. If the outdoor seating is not firmly attached to the ground or to a building, the outdoor seating shall be constructed so as to be able to withstand a wind pressure of not less than 80 miles per hour without falling over or blowing away.
 - iv. Outdoor seating placed in the right-of-way must of de minimis impact, and be placed so as allow a minimum unobstructed right-of-way clearance of 4 feet [requires approval of Community Development Department according 902.01(c)].
- F. Exterior Materials:
- i. Hard surfaced exterior wall materials are required for all nonresidential uses. This can include brick, parged block (at service areas, locations that might be used for wall murals), painted brick, stone and plaster/stucco.
 - ii. Materials used on exterior walls and roofs shall not be more than 30% highly reflective glass, such as tempered or mirrored glass. Highly tinted glass or glass tinted in unnatural colors or with a highly reflective finish should be avoided.
 - iii. Exterior materials may artificially simulate natural materials that they are not.
 - iv. Prohibited exterior materials for all nonresidential uses include corrugated metal panels, siding, and wood used as a finish

material, shall be prohibited on visible elevations. Visible elevations are those elevation visual from a public street or parking area.

- G. Exterior lighting:
 - i. Exterior building lighting shall be required for new buildings.
 - ii. Ornamental or decorative lights mounted with brackets and emblem sign lights shall be used.

(2) Recommended

- A. Recommended Uses: Office, institutional, medical and employment activity center mixed uses to include consumer, restaurant, and service retail
- B. Building Standards:
 - i. Transparent, or even open, first floor encouraged.
 - ii. Canopies, awnings, roof and floor overhangs, and colonnades are encouraged as protection to pedestrians.
 - iii. Rooftops should include architectural rooflines, such as cornices or exterior molding (See Graphic: Roofline).
 - iv. Residential uses should include outdoor balconies.
- C. Exterior lighting:
 - i. Exterior lighting and site furniture should be architecturally integrated with the building's style, material, and color.
 - ii. Down lighting should be used to reinforce circulation corridors.
- D. Signage:
 - i. Canopies, awnings, roof and floor overhangs, and colonnades are encouraged to serve as backdrops for signage, graphics or other features that would change with time.
 - ii. Signs should fit the character of downtown but also encourage creativity.
 - iii. Externally illuminated emblem signs should be used.
 - iv. Projecting signs are encouraged.
 - v. Internally illuminated signs are discouraged.

(f) Arts And Cultural Mixed Use UPOD District

(1) Required

- A. Maximum Setback: 10 feet
 - i. Setback applies to all wall surfaces. Buildings can have varying “setbacks” that form entrances, atriums, urban parks, express structural elements, create special exhibit areas, planters, etc.
- B. Floor Area Ratio: 10
- C. Building Standards:
 - i. Building facades facing public streets shall incorporate a main entrance door on the street. Building entrances may include doors to individual shops or businesses, lobby entrances, entrances to pedestrian-oriented plazas, or courtyard entrances to a cluster of shops or businesses.
 - ii. For commercial uses, at least sixty (60) percent of each building façade facing public streets shall be transparent window glass or

open from a height of 3 to 9 feet (See Graphic: Window Glass and Transparency).

- iii. For all non-single family residential uses, at least thirty (30) percent of each building façade facing public streets shall be transparent window glass or open.
 - iv. Building façades shall be a minimum of two (2) stories [thirty (30) feet] in height from the nearest street grade. If the building does not actually have at least two (2) stories, then it shall have appropriate architectural detail to appear to have a second story. This may be accomplished by extending the façade to a height of thirty (30) feet.
- D. Parking:
- i. Parking must be provided in rear of building. In locations where a “rear” yard fronts a street or is visible within 150 feet of a street, all parking must be screened using urban screening (See Graphic: Urban Screening). Urban screening shall consist of a natural stone or brick material and iron or similar material. Urban screening shall consist of a minimum of 10 percent opacity by including, at a minimum, one masonry post once every 10 feet. The materials for screening and their placement shall comply with the requirements of Subsection 1156.01 and 1161.02(h).
 - ii. Shared parking must be used wherever possible.
- E. Outdoor Seating:
- i. Outdoor seating is required for food service uses as a primary use.
 - ii. Outdoor seating must be of metal, natural stone, or brick material.
 - iii. If the outdoor seating is not firmly attached to the ground or to a building, the outdoor seating shall be constructed so as to be able to withstand a wind pressure of not less than 80 miles per hour without falling over or blowing away.
 - iv. Outdoor seating placed in the right-of-way must of de minimis impact, and be placed so as allow a minimum unobstructed right-of-way clearance of 4 feet [requires approval of Community Development Department according 902.01(c)].
 - v. Residential uses shall include outdoor balconies.
 - vi. Exterior Materials:
 - vii. Hard surfaced exterior wall materials are required for all nonresidential uses. This can include brick, parged block (at service areas, locations that might be used for wall murals), painted brick, stone and plaster/stucco.
 - viii. Materials used on exterior walls and roofs shall not be more than 30 percent highly reflective glass, such as tempered or mirrored glass. Highly tinted glass or glass tinted in unnatural colors or with a highly reflective finish should be avoided.
 - ix. Exterior materials may artificially simulate natural materials that they are not.

- x. Prohibited exterior materials for all nonresidential uses include corrugated metal panels, siding, and wood used as a finish material, shall be prohibited on visible elevations. Visible elevations are those elevation visual from a public street or parking area.
- F. Exterior lighting:
 - i. Exterior building lighting shall be required for new buildings.
 - ii. Ornamental or decorative lights mounted with brackets and emblem sign lights shall be used.
- (2) Recommended
 - A. Recommended Uses: Mixed use of cultural, recreational, consumer, restaurant, and service retail, institutional, and residential
 - B. Building Standards:
 - i. Transparent, or even open, first floor encouraged.
 - ii. Canopies, awnings, roof and floor overhangs, and colonnades are encouraged as protection to pedestrians.
 - iii. Rooftops should include architectural rooflines, such as cornices or exterior molding (See Graphic: Roofline). The materials for screening and their placement shall comply with the requirements of Subsection 1156.01 and 1161.02(h).
 - C. Exterior lighting:
 - i. Exterior lighting and site furniture should be architecturally integrated with the building's style, material, and color.
 - ii. Down lighting should be used to reinforce circulation corridors.
 - D. Signage:
 - i. Canopies, awnings, roof and floor overhangs, and colonnades are encouraged to serve as backdrops for signage, graphics or other features that would change with time.
 - ii. Signs should fit the character of downtown but also encourage creativity.
 - iii. Externally illuminated emblem signs are encouraged.
 - iv. Internally illuminated signs are discouraged.
- (g) Transitional Downtown Mixed Use UPOD District
 - (1) Required
 - A. Maximum Setback: 10 feet
 - i. Setback applies to all wall surfaces. Buildings can have varying “setbacks” that form entrances, atriums, urban parks, express structural elements, create special exhibit areas, planters, etc.
 - B. Floor Area Ratio: 3
 - C. Building Standards:
 - i. Building facades facing public streets shall incorporate a main entrance door on the street. Building entrances may include doors to individual shops or businesses, lobby entrances, entrances to pedestrian-oriented plazas, or courtyard entrances to a cluster of shops or businesses.

- ii. For commercial uses, at least sixty (60) percent of each building façade facing public streets shall be transparent window glass or open from a height of 3 to 9 feet (See Graphic: Window Glass and Transparency).
- iii. For all non-single family residential uses, at least thirty (30) percent of each building façade facing public streets shall be transparent window glass or open.
- iv. Building façades shall be a minimum of two (2) stories [twenty (20) feet] in height from the nearest street grade. If the building does not actually have at least two (2) stories, then it shall have appropriate architectural detail to appear to have a second story. This may be accomplished by extending the façade to a height of twenty (20) feet. Structures more than fifty (50) feet wide shall incorporate vertical elements, such as, but not limited to, windows and columns, into their façade design (See Graphic: Vertical Element).

D. Parking:

- i. Parking must be provided in rear of building. In locations where a “rear” yard fronts a street or is visible within 150 feet of a street, all parking must be screened using urban screening or if 1/4 mile from core block evergreen is screening permitted (See Graphic: Urban Screening). Urban screening shall consist of a natural stone or brick material and iron or similar material. Urban screening shall consist of a minimum of 10 percent opacity by including, at a minimum, one masonry post once every 10 feet. The materials for screening and their placement shall comply with the requirements of Subsection 1156.01 and 1161.02(h).
- ii. Shared parking must be used wherever possible.
- iii. No off-street parking is required for nonresidential uses unless such uses exceed [3,000] square feet of gross floor area, in which case off-street parking must be provided for the floor area in excess of [3,000] square feet.

E. Exterior Materials:

- i. Hard surfaced exterior wall materials are required for all nonresidential uses. This can include brick, parged block (at service areas, locations that might be used for wall murals), painted brick, stone and plaster/stucco.
- ii. Materials used on exterior walls and roofs shall not be more than 30 percent highly reflective glass, such as tempered or mirrored glass. Highly tinted glass or glass tinted in unnatural colors or with a highly reflective finish should be avoided.
- iii. Exterior materials may artificially simulate natural materials that they are not.
- iv. Prohibited exterior materials for all nonresidential uses include corrugated metal panels, siding, and wood used as a finish material, shall be prohibited on visible elevations. Visible

elevations are those elevation visual from a public street or parking area.

- F. Exterior lighting:
 - i. Exterior building lighting shall be required for new buildings.
 - ii. Ornamental or decorative lights mounted with brackets and emblem sign lights shall be used.

(2) Recommended

- A. Recommended Uses: Mixed use of consumer, restaurant, and service retail, office, institutional, medical, recreational, and residential

- B. Building Standards:

- i. Canopies, awnings, roof and floor overhangs, and colonnades are encouraged as protection to pedestrians.
- ii. Outdoor seating is encouraged for food service uses.
- iii. Outdoor seating must be of metal, natural stone, or brick material.
- iv. If the outdoor seating is not firmly attached to the ground or to a building, the outdoor seating shall be constructed so as to be able to withstand a wind pressure of not less than 80 miles per hour without falling over or blowing away.
- v. Outdoor seating placed in the right-of-way must of de minimis impact, and be placed so as allow a minimum unobstructed right-of-way clearance of 4 feet [requires approval of Community Development Department according 902.01(c)].
- vi. Residential uses should include outdoor balconies.

- C. Exterior lighting:

- i. Exterior lighting and site furniture should be architecturally integrated with the building's style, material, and color.
- ii. Down lighting should be used to reinforce circulation corridors.

- D. Signage:

- i. Canopies, awnings, roof and floor overhangs, and colonnades are encouraged to serve as backdrops for signage, graphics or other features that would change with time.
- ii. Signs should fit the character of downtown but also encourage creativity.
- iii. Projecting signs are encouraged.
- iv. Externally illuminated emblem signs are encouraged.
- v. Internally illuminated signs are discouraged.

(h) Transitional Retail Mixed Use UPOD District

(1) Required

- A. Maximum Setback: 10 feet

- i. Setback applies to all wall surfaces. Buildings can have varying “setbacks” that form entrances, atriums, urban parks, express structural elements, create special exhibit areas, planters, etc.

- B. Floor Area Ratio: 3

- C. Building Standards:

- i. Building facades facing public streets shall incorporate a main entrance door on the street. Building entrances may include doors

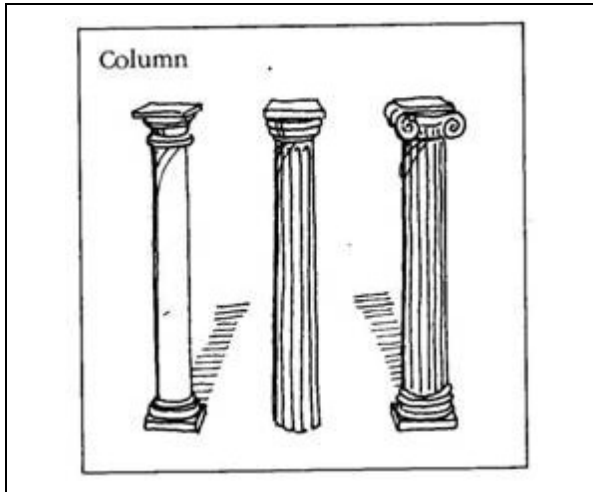
to individual shops or businesses, lobby entrances, entrances to pedestrian-oriented plazas, or courtyard entrances to a cluster of shops or businesses.

- ii. For commercial uses, at least sixty (60) percent of each building façade facing public streets shall be transparent window glass or open from a height of 3 to 9 feet (See Graphic: Window Glass and Transparency).
 - iii. Building façades shall be a minimum of two (2) stories [twenty (20) feet] in height from the nearest street grade. If the building does not actually have at least two (2) stories, then it shall have appropriate architectural detail to appear to have a second story. This may be accomplished by extending the façade to a height of twenty (20) feet.
- D. Parking:
- i. Parking must be provided in rear of building. In locations where a “rear” yard fronts a street or is visible within 150 feet of a street, all parking must be screened using urban screening or if 1/4 mile from core block evergreen is screening permitted (See Graphic: Urban Screening). Urban screening shall consist of a natural stone or brick material and iron or similar material. Urban screening shall consist of a minimum of 10% opacity by including, at a minimum, one masonry post once every 10 feet. The materials for screening and their placement shall comply with the requirements of Subsection 1156.01 and 1161.02(h).
 - ii. Shared parking must be used wherever possible.
 - iii. No off-street parking is required for nonresidential uses unless such uses exceed 3,000 square feet of gross floor area, in which case off-street parking must be provided for the floor area in excess of 3,000 square feet.
- E. Exterior Materials:
- i. Hard surfaced exterior wall materials are required for all nonresidential uses. This can include brick, parged block (at service areas, locations that might be used for wall murals), painted brick, stone and plaster/stucco.
 - ii. Materials used on exterior walls and roofs shall not be more than 30% highly reflective glass, such as tempered or mirrored glass. Highly tinted glass or glass tinted in unnatural colors or with a highly reflective finish should be avoided.
 - iii. Exterior materials may artificially simulate natural materials that they are not.
 - iv. Prohibited exterior materials for all nonresidential uses include corrugated metal panels, siding, and wood used as a finish material, shall be prohibited on visible elevations. Visible elevations are those elevation visual from a public street or parking area.
- F. Exterior lighting:

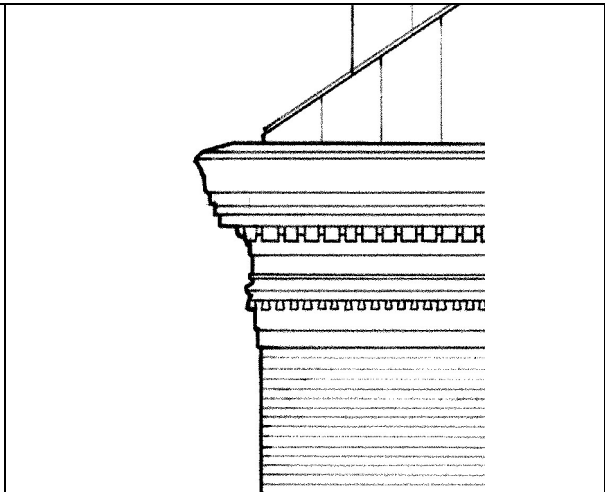
- i. Exterior building lighting shall be required for new buildings.
 - (2) Recommended
 - A. Recommended Uses: Consumer, restaurant, and service retail
 - B. Building Standards:
 - i. For all non-single family residential uses, at least thirty (30) percent of each building façade facing public streets shall be transparent window glass or open.
 - ii. Canopies, awnings, roof and floor overhangs, and colonnades are encouraged as protection to pedestrians.
 - iii. Structures more than fifty (50) feet wide shall incorporate vertical elements, such as, but not limited to, windows and columns, into their façade design (See Graphic: Vertical Element).
 - iv. Rooftops should include architectural rooflines, such as cornices or exterior molding (See Graphic: Roofline).
 - v. Outdoor seating is encouraged for food service uses.
 - vi. Outdoor seating must be of metal, natural stone, or brick material.
 - vii. If the outdoor seating is not firmly attached to the ground or to a building, the outdoor seating shall be constructed so as to be able to withstand a wind pressure of not less than 80 miles per hour without falling over or blowing away.
 - viii. Outdoor seating placed in the right-of-way must of de minimis impact, and be placed so as allow a minimum unobstructed right-of-way clearance of 4 feet [requires approval of Community Development Department according 902.01(c)].
 - ix. Residential uses should include outdoor balconies.
 - C. Exterior lighting:
 - i. Ornamental or decorative lights mounted with brackets and emblem sign lights should be used.
 - ii. Exterior lighting and site furniture should be architecturally integrated with the building's style, material, and color.
 - iii. Down lighting should be used to reinforce circulation corridors.
 - D. Signage:
 - i. Canopies, awnings, roof and floor overhangs, and colonnades are encouraged to serve as backdrops for signage, graphics or other features that would change with time.
 - ii. Signs should fit the character of downtown but also encourage creativity.
 - iii. Projecting signs are encouraged.
 - iv. Externally illuminated emblem signs are encouraged.
 - v. Internally illuminated signs are allowed
- (i) Transitional Office Mixed Use UPOD District
 - (1) Required
 - A. Maximum Setback: 10 feet
 - i. Setback applies to all wall surfaces. Buildings can have varying “setbacks” that form entrances, atriums, urban parks, express structural elements, create special exhibit areas, planters, etc.

- B. Floor Area Ratio: 3
- C. Building Standards:
 - i. Building facades facing public streets shall incorporate a main entrance door on the street. Building entrances may include doors to individual shops or businesses, lobby entrances, entrances to pedestrian-oriented plazas, or courtyard entrances to a cluster of shops or businesses.
 - ii. For commercial uses, at least sixty (60) percent of each building façade facing public streets shall be transparent window glass or open from a height of 3 to 9 feet (See Graphic: Window Glass and Transparency).
 - iii. For all non-single family residential uses, at least thirty (30) percent of each building façade facing public streets shall be transparent window glass or open (See Graphic: Window Glass and Transparency) .
 - iv. Building façades shall be a minimum of two (2) stories [twenty (20) feet] in height from the nearest street grade. If the building does not actually have at least two (2) stories, then it shall have appropriate architectural detail to appear to have a second story. This may be accomplished by extending the façade to a height of twenty (20) feet.
- D. Parking:
 - i. Parking must be provided in rear of building. In locations where a “rear” yard fronts a street or is visible within 150 feet of a street, all parking must be screened using urban screening or if 1/4 mile from core block evergreen is screening permitted (See Graphic: Urban Screening). Urban screening shall consist of a natural stone or brick material and iron or similar material. Urban screening shall consist of a minimum of 10 percent opacity by including, at a minimum, one masonry post once every 10 feet. The materials for screening and their placement shall comply with the requirements of Subsection 1156.01 and 1161.02(h).
 - ii. Shared parking must be used wherever possible.
 - iii. No off-street parking is required for nonresidential uses unless such uses exceed 3,000 square feet of gross floor area, in which case off-street parking must be provided for the floor area in excess of 3,000 square feet.
- E. Exterior Materials:
 - i. Hard surfaced exterior wall materials are required for all nonresidential uses. This can include brick, parged block (at service areas, locations that might be used for wall murals), painted brick, stone and plaster/stucco.
 - ii. Materials used on exterior walls and roofs shall not be more than 30 percent highly reflective glass, such as tempered or mirrored glass. Highly tinted glass or glass tinted in unnatural colors or with a highly reflective finish should be avoided.

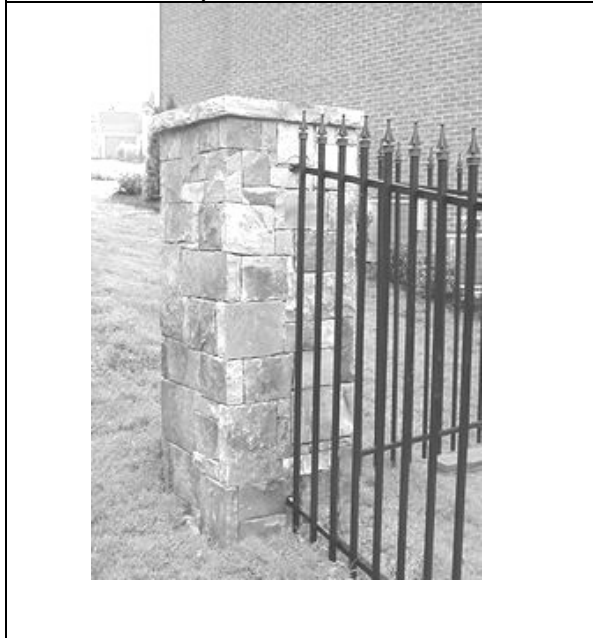
- iii. Exterior materials may artificially simulate natural materials that they are not.
 - iv. Prohibited exterior materials for all nonresidential uses include corrugated metal panels, siding, and wood used as a finish material, shall be prohibited on visible elevations. Visible elevations are those elevation visual from a public street or parking area.
 - v. Exterior building lighting shall be required for new buildings.
 - vi. Ornamental or decorative lights mounted with brackets and emblem sign lights shall be used.
- (2) Recommended
- A. Recommended Uses: Office, institutional, and medical
 - B. Building Standards:
 - i. Transparent, or even open, first floor encouraged.
 - ii. Canopies, awnings, roof and floor overhangs, and colonnades are encouraged as protection to pedestrians.
 - iii. Structures more than fifty (50) feet wide shall incorporate vertical elements, such as, but not limited to, windows and columns, into their façade design (See Graphic: Vertical Element).
 - iv. Outdoor seating is encouraged for food service uses.
 - v. Outdoor seating must be of metal, natural stone, or brick material.
 - vi. If the outdoor seating is not firmly attached to the ground or to a building, the outdoor seating shall be constructed so as to be able to withstand a wind pressure of not less than 80 miles per hour without falling over or blowing away.
 - vii. Outdoor seating placed in the right-of-way must of de minimis impact, and be placed so as allow a minimum unobstructed right-of-way clearance of 4 feet [requires approval of Community Development Department according 902.01(c)].
 - viii. Residential uses should include outdoor balconies.
 - C. Exterior lighting:
 - i. Exterior lighting and site furniture should be architecturally integrated with the building's style, material, and color.
 - ii. Down lighting should be used to reinforce circulation corridors.
 - D. Signage:
 - i. Canopies, awnings, roof and floor overhangs, and colonnades are encouraged to serve as backdrops for signage, graphics or other features that would change with time.
 - ii. Signs should fit the character of downtown but also encourage creativity.
 - iii. Externally illuminated emblem signs are encouraged.
 - iv. Internally illuminated signs are discouraged.
- (Ord. 07-130. Passed 5-15-07.)



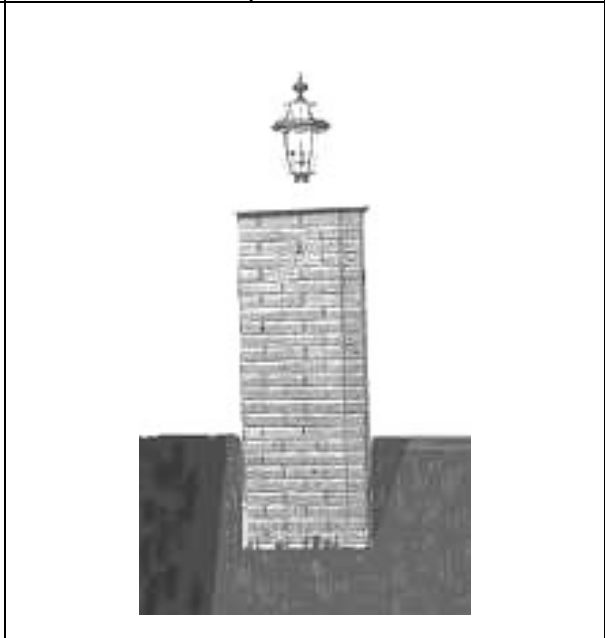
Graphic: Vertical Element



Graphic: Roofline



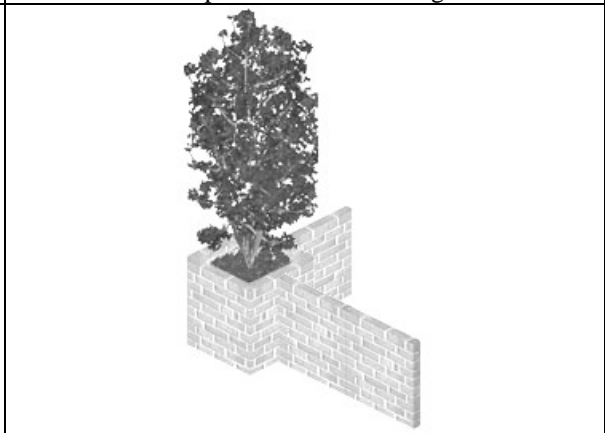
Graphic: Urban Screening



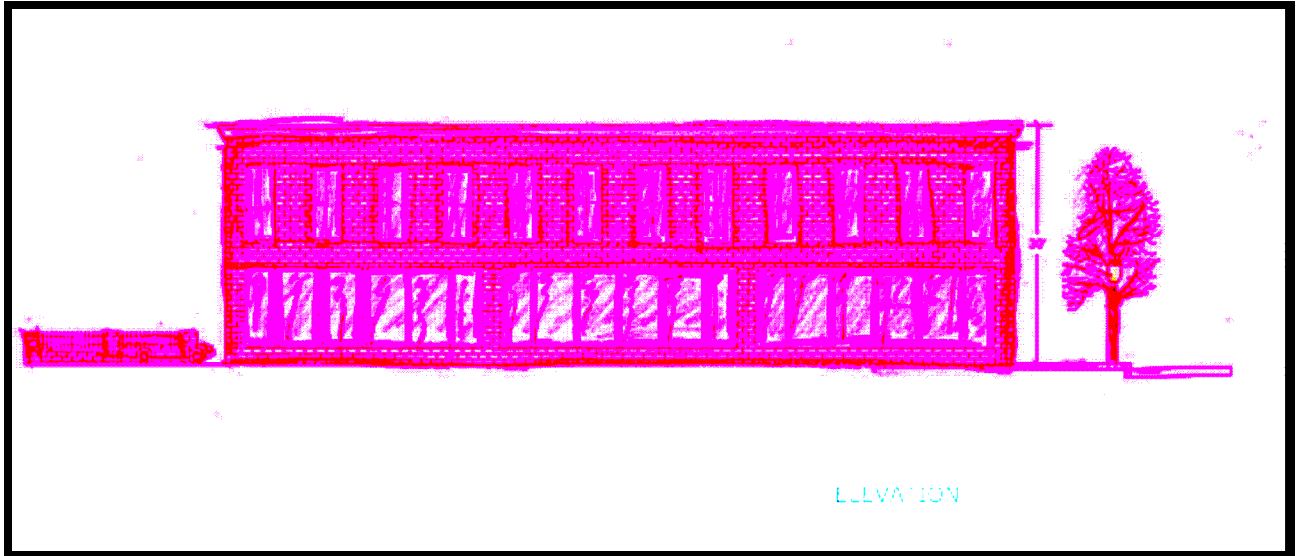
Graphic: Urban Screening



Graphic: Urban Screening



Graphic: Urban Screening



Graphic: Window Glass and Transparency